

Sydney | Perth | Newcastle | Central Coast

Level 6 191 Clarence Street Sydney NSW 2000
T: +61 2 82485500 E: mail@lindsaydynan.com.au

PROJECT

NORTH CRONULLA SLSC
62 PRINCE STREET
CRONULLA NSW

CLIENT

NORTH CRONULLA SURF LIFE
SAVING CLUB

LEGEND	
	SEDIMENT CONTROL FENCE, REFER TO DETAIL ON DRAWING
	GEOTEXTILE DROP INLET PIT FILTER REFER TO DETAIL ON DRAWING
	MESH AND GRAVE INLET PIT REFER TO DETAIL ON DRAWING
	TEMPORARY STOCKPILE, REFER TO DETAIL ON DRAWING
	STABILISED SITE ACCESS, REFER TO DETAIL ON DRAWING
	BOUNDARY LINE
	EXISTING FENCE

NOTES	
THE ARRANGEMENT OF SEDIMENT AND EROSION CONTROL MEASURES SHOWN ARE INDICATIVE ONLY AND RELATE TO A PARTICULAR STAGE OF THE CONSTRUCTION WORKS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN, CONSTRUCT AND MAINTAIN ANY ADDITIONAL MEASURES THAT MAY BE REQUIRED FOR THE CONTRACTOR'S CONSTRUCTION METHODOLOGIES, IN ORDER TO MEET ALL CONDITIONS AND REQUIREMENTS IMPOSED BY ANY STATUTORY AUTHORITY.	
THE POSITION OF ALL EXISTING SERVICES SHOWN SHOULD BE REGARDED AS APPROXIMATE AND NOT NECESSARILY COMPREHENSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATIONS OF ALL SERVICES WHETHER SHOWN ON THE DRAWING OR NOT AND INFORM ALL RELEVANT AUTHORITIES PRIOR TO ANY EXCAVATION.	
CONTRACTOR TO VERIFY SETOUT BEFORE COMMENCING EARTHWORKS. REFER ANY DISCREPANCIES TO ENGINEER.	
ALL EXPOSED/DISTURBED AREAS TO BE TREATED IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.	

DRAWING LIST	
12998-DA01	EROSION & SEDIMENT PLAN & DETAILS
12998-DA02	EXTERNAL STORMWATER DRAINAGE PLAN
12998-DA03	INTERNAL STORMWATER DRAINAGE PLAN

C	04/02/19	RE-ISSUED FOR DEVELOPMENT APPLICATION	M.N.	B.P.
B	26/06/17	LANDSCAPE ARCHITECTURAL PLANS UPDATED	S.M.	S.K.
A	31/05/17	ISSUED FOR DEVELOPMENT APPLICATION	M.B.	S.K.
REV	DATE	DRAWING STATUS	DRN	APP
TITLE				

EROSION & SEDIMENT CONTROL PLAN & DETAILS			
DRAWING STATUS			SHEET SIZE
DRAFT COPY			A1
DRAWN	DESIGNED	APPROVED	SCALE
M.Bector	S.Keverian	M.McNamara	1:200
PROJECT No.	DRAWING No.	REVISION	
12998	DA01	C	

NOT FOR CONSTRUCTION

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SAVING CLUB

LEGEND

- EXISTING DESIGN SPOTLEVEL
- DESIGN SPOTLEVEL
- EXISTING STORMWATER DRAINAGE PIT
- NEW STORMWATER DRAINAGE PIT, INSTALLED TO MANUFACTURER'S SPECIFICATIONS
- NEW PVC STORMWATER DRAINAGE PIPE LAID AT 1.0% MIN FALL (U.N.O.) IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- NEW GRATED DRAIN
- DIRECTION OF SURFACE FALL
- BOUNDARY LINE
- EXISTING FENCE

NOTES

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DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART OF THE STRUCTURE SHALL BE OVER-STRESSED. TEMPORARY STRUCTURES, FORMWORK, FALSEWORK, TEMPORARY BRACING, SHORING AND THE LIKE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL HANDRAILS, IF REQUIRED, ARE TO ARCHITECT'S LOCATION & DETAIL.

BENCHMARKS TO BE PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

TREATMENT OF ALL EXPOSED / DISTURBED AREAS TO ARCHITECT'S DETAILS.

DETAIL OF LANDSCAPING IS TO TAKE INTO CONSIDERATION OVERLAND FLOW PATHS.

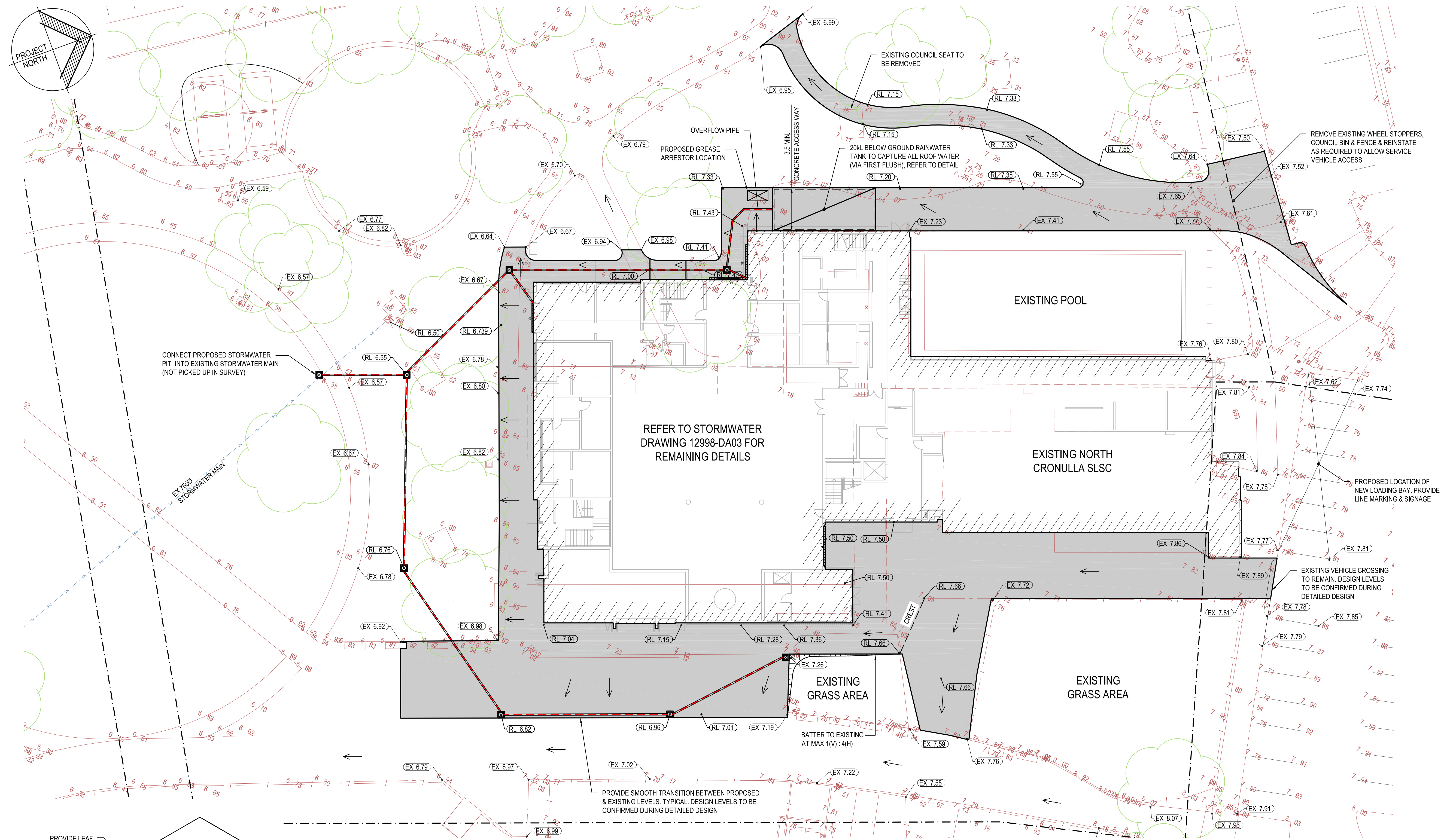
ALL FENCES ARE TO BE DETAILED WITH 100mm GAP UNDER OR TO BE NON SOLID FENCES TO ALLOW WATER FLOW.

WHERE SITE IS IN CUT ADJACENT TO SITE BOUNDARY, TOP OF RETAINING WALLS TO BE CONSTRUCTED FLUSH WITH EXISTING SURFACE OF NEIGHBOURING PROPERTIES TO AVOID IMPOUNDING WATER ON NEIGHBOURING PROPERTIES.

LOCATION OF DOWNPIPES ARE SHOWN INDICATIVELY, REFER TO HYDRAULIC ENGINEER FOR DETAILS.

EXISTING STORMWATER PITS AND PIPES ARE AT APPROXIMATE LOCATIONS. FURTHER SURVEY DATA REQUIRED DURING DETAILED DESIGN.

REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR PAVEMENT SURFACE DETAILS



STORMWATER DRAINAGE PLAN

SCALE 1:200

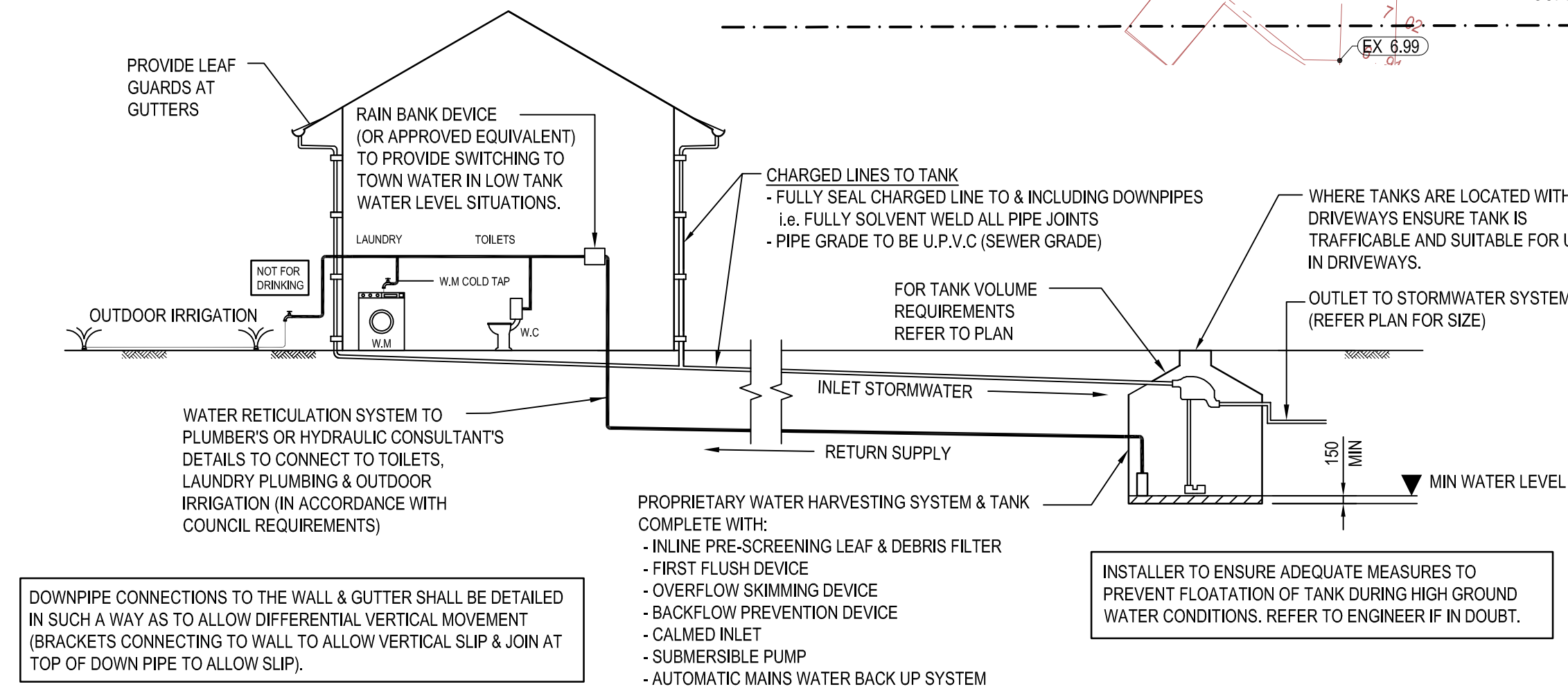
STORMWATER SUMMARY

THE PROPOSED DEVELOPMENT LOCATED ON THE CORNER OF ELOUERA ROAD AND MITCHELL ROAD, CRONULLA, INVOLVES THE REDEVELOPMENT OF THE EXISTING SURF LIFE SAVING CLUB. THE REDEVELOPMENT CONSISTS OF AN EXTENSION TO THE EXISTING BUILDING. THE EXTENSION WILL INCREASE THE ROOF AREA BY 340m². HOWEVER THERE WILL BE NO INCREASE IN IMPERMEABLE AREA DOWNSTREAM OF THE DEVELOPMENT AS OPEN PAVED AREAS WILL NOW BE COVERED BY ROOFED AREAS.

THE DEVELOPMENT IS LOCATED AT THE DOWNSTREAM END OF THE SUTHERLAND SHIRE CATCHMENTS BEFORE IT IS DISCHARGED TO CRONULLA BEACH. THERE ARE NO PROPERTIES DOWNSTREAM OF THE DEVELOPMENT. IN ACCORDANCE WITH THE SUTHERLAND SHIRE COUNCIL - STORMWATER MANAGEMENT GUIDE, ON-SITE DETENTION (OSD) IS REQUIRED FOR ALL DEVELOPMENTS. HOWEVER, AS THERE IS NO NETT INCREASE IN IMPERMEABLE AREA, THERE WILL BE NO INCREASE IN PEAK DISCHARGE AS SUCH NO OSD HAS BEEN PROVIDED.

OVERLAND STORMWATER SURFACE WILL BE CONVEYED TOWARDS THE SOUTHERN END OF THE SITE AND CAPTURED IN A SERIES OF SURFACE INLET PITS BEFORE BEING DISCHARGED INTO A STORMWATER TRUCK DRAINAGE SYSTEM. LOCATED WITHIN DUNNINGHAM PARK. EXCESS STORMWATER SURFACE RUNOFF NOT CAPTURED BY THESE SURFACE INLET PITS WILL BE DIRECTED FURTHER SOUTH OF THE SITE, AS PER EXISTING CONDITIONS.

FURTHERMORE AS THE NEW ROOF IMPERVIOUS AREA ARE OFFSETTING EXISTING PAVED AREAS, IT IS ANTICIPATED THAT RUNOFF DISCHARGED FROM THE SITE WILL BE ON AN IMPROVED QUALITY, AS SUCH NO WATER QUALITY DEVICES HAVE BEEN PROVIDED.



WATER RE-USE SCHEMATIC (TANK BELOW GROUND) - SINGLE UNIT SYSTEM

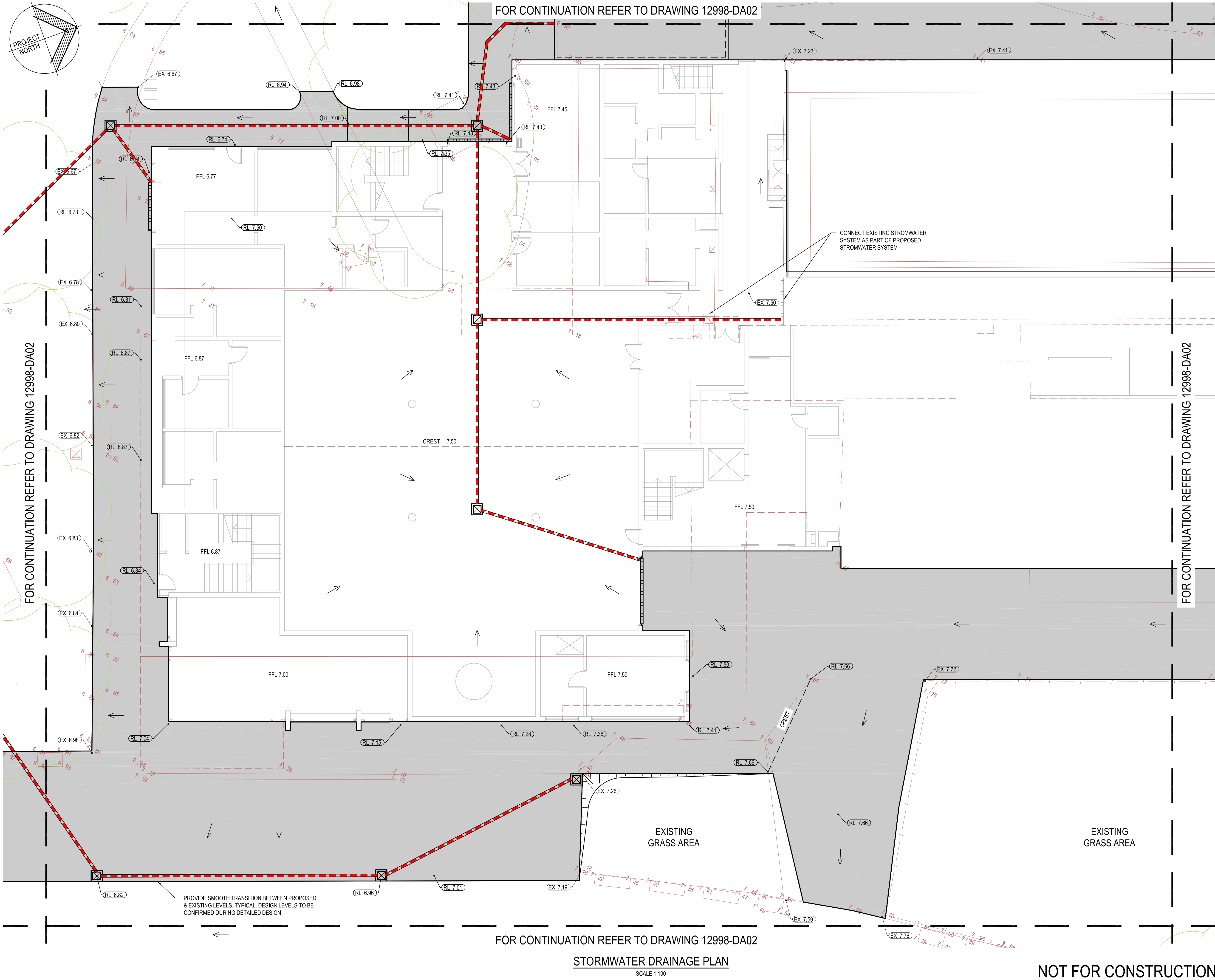
N.T.S.

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EXTERNAL STORMWATER DRAINAGE PLAN

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DRAFT COPY			A1	
DRAWN	DESIGNED	APPROVED	SCALE	
M.Bector	S.Keverian	M.McNamara	1:200	
PROJECT No.	DRAWING No.		REVISION	
12998	DA02		D	

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INTERNAL STORMWATER DRAINAGE PLAN

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DRAFT COPY			A1	
DRAWN	DESIGNED	APPROVED	SCALE	
Bector	S.Kevrian	M.McNamara	1:100	
PROJECT No.		DRAWING No.	REVISION	
2998		DA03	C	

NOT FOR CONSTRUCTION

STORMWATER DRAINAGE PLAN
SCALE 1:100

FOR CONTINUATION REFER TO DRAWING 12998-DA02

PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED & EXISTING LEVELS. TYPICAL DESIGN LEVELS TO BE CONFIRMED DURING DETAILED DESIGN

EXISTING GRASS AREA

EXISTING GRASS AREA

FOR CONTINUATION REFER TO DRAWING 12998-DA02

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